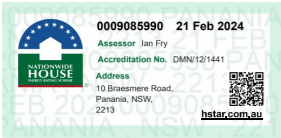
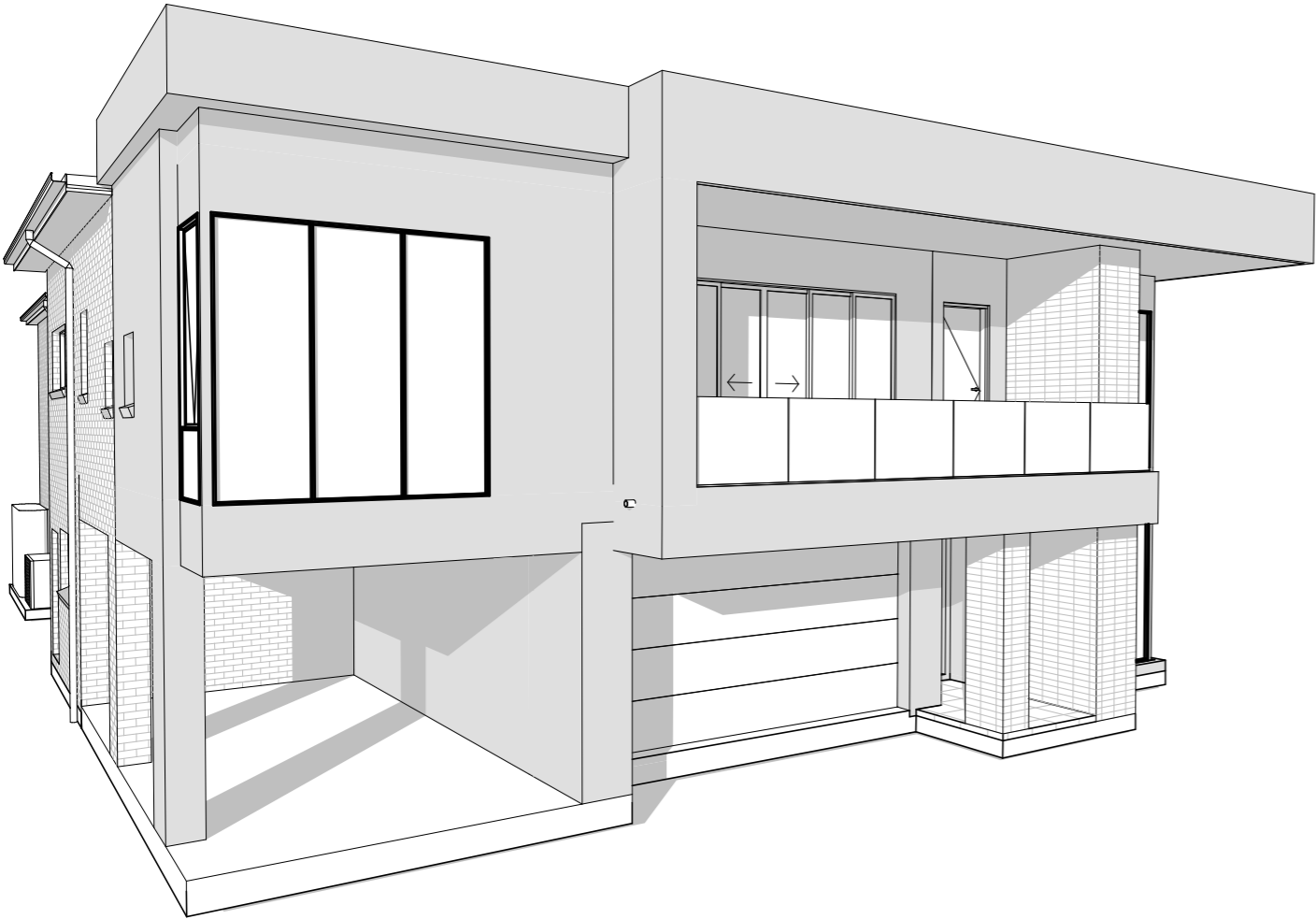



Majestic 50 Manor (Custom) Hamilton (Nanny)

Page	Drawing
02	SITE PLAN
03	BENCHING PLAN
04	SITE ANALYSIS PLAN
05	SHADOW DIAGRAMS
06	GROUND FLOOR PLAN
07	FIRST FLOOR PLAN
08	ELEVATIONS
09	ELEVATIONS
10	SECTIONS
11	SCHEDULES
12	DETAILS



FILE PATH: T:_WISDOM HOMES\2023\209694_CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.pln

MANOR INCLUSIONS



WISDOM HOMES

THE WISE CHOICE

PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

P CHAKRABORTY & P CHAKRABORTY

ADDRESS:

Lot 13 No.10 BRAESMERE ROAD,
PANANIA, NSW

JOB No:

209694

BASIX & THERMAL COMMITMENTS



Date 27 March 2024 - 10:44am

Lot Number	House Number	Street	Suburb	Post Code	State
13	10	Braesmere Road	Panania	2213	NSW

FLOORS

Ground	1st Floor
Waffle pod	Timber

WALLS

Ground	1st Floor
Brick Veneer	Brick Veneer, Fibre Cement Cladding
Insulation External Walls R2.0	Internal Walls to be Insulated Garage internal walls, Upper Lounge, Ensuite 4
External Colours Not yet selected	Common Walls Shaft Liner System
	Insulation Internal Walls R2.0
	Common Wall Insulation R2.0

CEILINGS

Ceilings with cavity to roof	Ceiling between Ground and 1st Floor
R4.0	R2.5

Areas requiring insulation between levels
Throughout including Garage, (R1.5 above carport to rooms above)

ROOF AREA

Colours	Material	Insulation
Light	Metal (Colourbond)	Sarking

WINDOWS (Refer to NatHERS Certificate for more detail)

Upgraded windows, refer to NatHERS Certificate

WATER

Landscape Area	Rainwater Tank	Rainwater Tank Size	Roof Area to Tank		
189.7m²	Garden, WC, Laundry	3,000 L	100% of Roof		
Showerheads 3 Star > 7.5 but less < or = 9.0 litres per minute		Toilets 4 Star	Basin Taps 6 Star	Kitchen Taps 4 Star	
Swimming Pool No					

ENERGY

Hot Water	Air Conditioning	Air Conditioner EER
Gas Instantaneous 6 Star	3 Phase	Heating & Cooling 3.0 - 3.5

VENTILATION

Laundry	Bathroom	Kitchen
Ducted	Ducted	Ducted

OTHER

Solar Photovoltaic System	Size (kw)	Cooking
Yes	1KW	Gas Cooktop/Electric Oven
Living Room Ceiling Fans	Bedroom Ceiling Fans	Other
Yes	Yes	Outdoor Clothes Line, Indoor Clothes Line, Ventilated Fridge Space, Air Conditioning Zoned

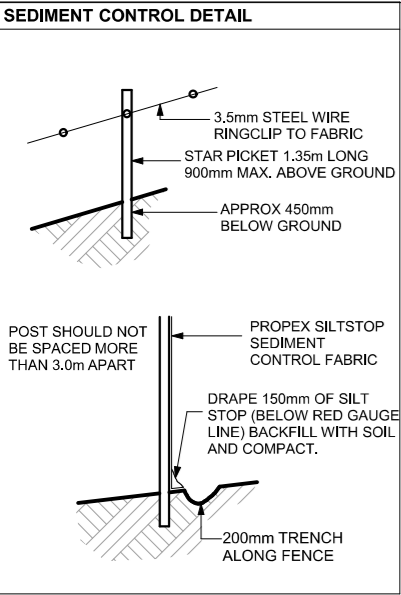
ADDITIONAL NOTES

Ceiling fans as per NatHERS Certificates

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

<u>DA SCHEDULE</u>			
<u>SITE DETAILS</u>			
LGA CONTROL	Canterbury - Bankstown		
LOT NUMBER/DP NUMBER		13 / 35471	
ZONE & LOT WIDTH	R4	16.768m	
SITE AREA		600.70 m ²	
<u>DWELLING AREAS</u>			
GROUND FLOOR LIVING		195.83 m ²	
FIRST FLOOR LIVING		261.69 m ²	
PORCH		5.34 m ²	
PATIO		0.00 m ²	
FRONT BALCONY		14.87 m ²	
REAR BALCONY		0.00 m ²	
GARAGE		64.73 m ²	
OUTDOOR LEISURE		28.58 m ²	
SECONDARY DWELLING(Lower)		16.51 m ²	
SECONDARY DWELLING(Upper)		43.37 m ²	
TOTAL :		630.92 m²	
DRIVE AREA		68.26 m ²	
ROOF AREA (drained to tank)		354.99 m ²	
<u>SITE COVERAGE</u> (Single storey/Lower floor)			
MAXIMUM SITE COVERAGE		0.00 m ² /	0.00%
ACTUAL SITE COVERAGE		277.07 m²/	46.12%
<u>FLOOR SPACE RATIO</u>			
MAXIMUM FLOOR SPACE/FSR		450.53 m ² /	75.00%
ACTUAL FLOOR SPACE/FSR		450.16 m²/	74.94%
<u>LANDSCAPING AREAS</u>			
MINIMUM LANDSCAPING		0.00 m ² /	0.00%
ACTUAL LANDSCAPING		189.70 m²/	31.58%
<u>PRIVATE OPEN SPACE</u>			
MINIMUM POS		80.00 m ² /	5m min.
ACTUAL POS		89.67 m²/	16.820x5.051
<u>BUILDING HEIGHT</u>			
MAXIMUM HEIGHT		8.50 m	
ACTUAL HEIGHT		6.99 m	



NOTE: PROVIDE 1.8m HIGH SECURITY FENCE TO PERIMETER OF SITE AS REQUIRED BY COUNCIL

'H1' CLASS SLAB
(AS PER BOREHOLE REPORT)

SALINE AFFECTED - EXPOSURE CLASS A2
(AS PER BOREHOLE REPORT)

FLOOD AFFECTED SITE

Lot 13 No.10
AREA: 600.7m²
REFER TO HYDRAULIC ENGINEERS DETAILS FOR STORMWATER DRAINAGE.

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. **795 mm** TO FORM JOB DATUM **R.L. 13.615** (AHD)
DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

PROPOSED EXCAVATION
EXISTING STRUCTURE TO BE DEMOLISHED BY OWNER

BENCHING PLAN
1:200

FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.plh



PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:
P CHAKRABORTY & P CHAKRABORTY

ADDRESS:
Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW

EXHAUST FAN
SMOKE ALARM AS 3786-1993

LODGE MENT:
D.A/C.C

DP No:
35471

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM HOMES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
P-A	SITING	ITS-HL	25.08.2023
A-2	CONTRACT PLANS	NK	29/09/23
A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23
A-4	ENS 4 TILING AMENDED	NK	23/11/23
A-5	STACK BOND - STACKER DOORS	AES	24/11/23
B	SUBMISSION PLAN	SB	26.03.24

JOB No:
209694

LGA:
CANTERBURY-BANKSTOWN

DESIGN:
Majestic 50 Manor (Custom)

FACADE:
Hamilton (Nanny)

DRAWN:
ITS

PLOT DATE:
26/03/2024

SLAB CLASS:
'H1' CLASS

SHEET:
03

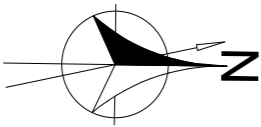
BASIX SCHEDULE

WATER COMMITMENTS
Taps: Basins-6*, Toilets-4*, Showers-3*, Kitchen-4*
Rainwater Tank-4500 from 354m2 of roof
Connect tank to: 1 garden tap

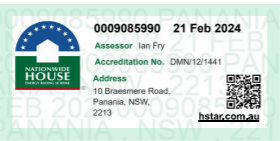
THERMAL COMFORT
Wind driven ventilator to roof space
Roof Insulation: R1.5 Anticon Blanket
Ceiling insulation: R6.0
Wall insulation: R2.0
Floor Insulation: R2.5
1 x ceiling fan to all beds, Leisure, Upper Lounge
1 x ceiling fan to Nanny, Living, Bed 5 Granny Flat
R1.5 Insulation above carport to rooms above
R2.0 Insulation to internal walls of Ens 4

ENERGY COMMITMENTS
Hot Water: Gas instantaneous - 6 Star
Cooling System: 3 phase air cond. 3.0-3.5 EER
Heating System: 3 phase air cond. 3.0-3.5 EER
Cooking system: Gas cooktop & electric oven
Natural lighting to Baths and Kitchen
Compact fluorescent lighting throughout
Provide well ventilated Fridge space
Provide outdoor clothesline (by owner)

NOTE: THE ABOVE INDICATES THE MINIMUM REQUIREMENTS PLEASE REFER TO THE BASIX CERTIFICATE FOR SPECIFIC REQUIREMENTS



TEMPORARILY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)



MANOR INCLUSIONS

NOTES:

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- REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
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- ROOF SPACE VENTILATION TO COMPLY WITH CLAUSE 10.8.3 OF THE NCC 2022
- WET AREAS WITHOUT WINDOWS TO HAVE A DUCTED EXHAUST TO COMPLY WITH CLAUSE 10.8.2 OF THE NCC2022
- WET AREAS THAT ARE NOT NATURALLY VENTILATED IN ACCORDANCE WITH 10.6.2(a) TO HAVE
 - a) MECHANICAL VENTILATION SYSTEM INTERLOCKED WITH THE ROOMS LIGHT SWITCH
 - b) INCLUDE A TIMER TO OPERATE FOR A MINIMUM OF 10 MINUTES AFTER SHUT-DOWN

SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

TWO STOREY

OVERLOOKING

PREVAILING WINDS

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING

BRAESMERE ROAD

'H1' CLASS SLAB
(AS PER BOREHOLE REPORT)

SALINE AFFECTED -
EXPOSURE CLASS A2
(AS PER BOREHOLE REPORT)

FLOOD AFFECTED SITE

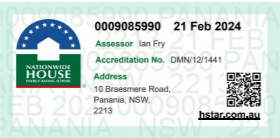
Lot 13 No.10
AREA: 600.7m²

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FOR STORMWATER DRAINAGE.

ANY RETAINING WALLS REQUIRED TO BE
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B.O.S
AFFECTED

ACID SULFATE
SOILS CLASS 5

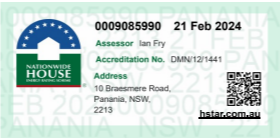
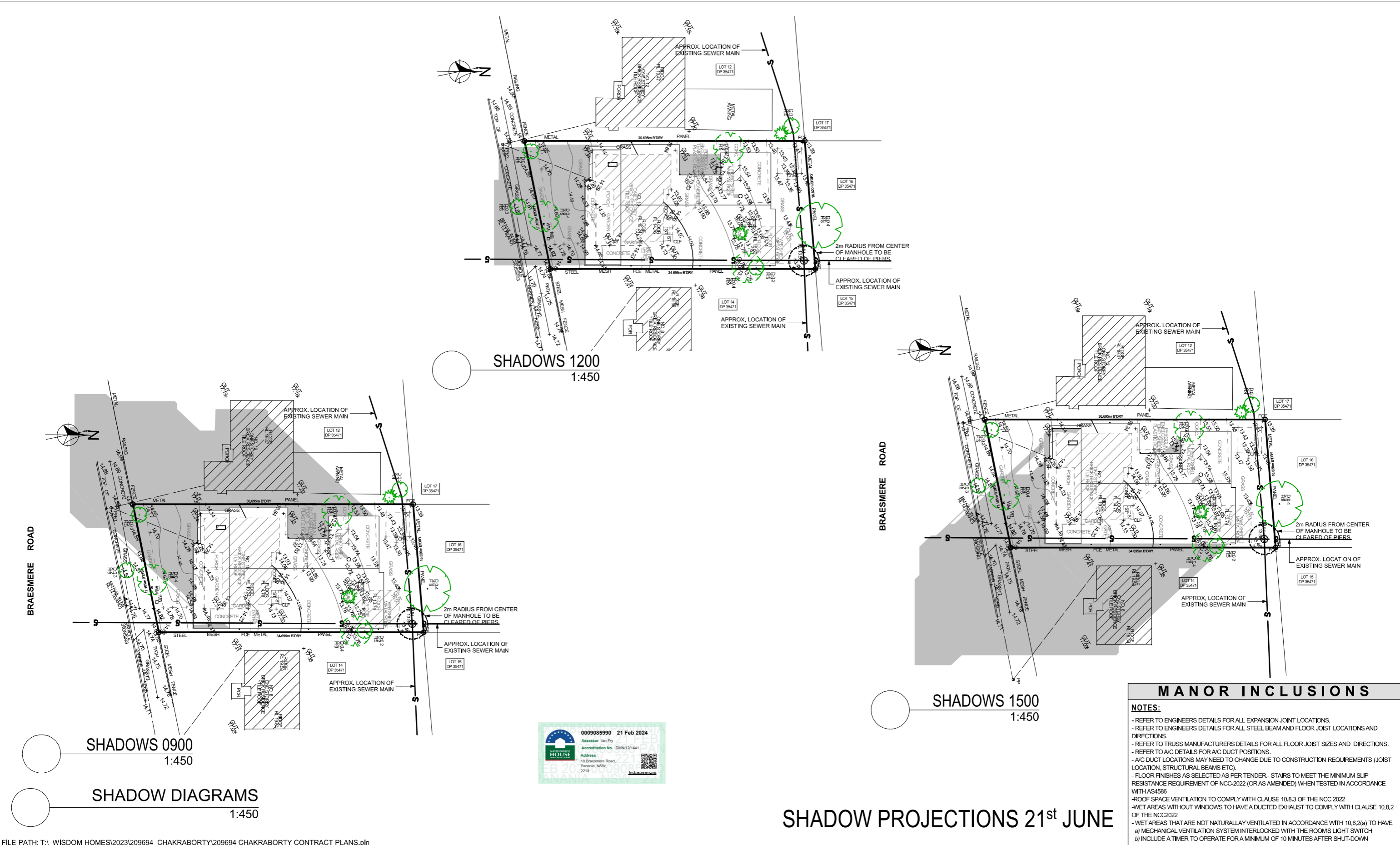


SITE ANALYSIS PLAN
1:200

FILE PATH: T:\WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.ph

<div></div> <div>WISDOM HOMES</div> <div>THE WISE CHOICE</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div><div> EXHAUST FAN</div><div> SMOKE ALARM AS 3786-1993</div></div>		NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.				REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS
	CLIENT: P CHAKRABORTY & P CHAKRABORTY					ISSUE	DESCRIPTION	DRAWN	DATE		PLOT DATE: 26/03/2024		
	ADDRESS: Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW	LODGEMENT: D.A/C.C	DP No: 35471	P-A	SITING	ITS-HL	25.08.2023	LGA: CANTERBURY-BANKSTOWN	SLAB CLASS: 'H1' CLASS				
		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.		A-2	CONTRACT PLANS	NK	29/09/23	DESIGN: Majestic 50 Manor (Custom)	SHEET:				
				A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23						
				A-4	ENS 4 TILING AMENDED	NK	23/11/23	FACADE: Hamilton (Nanny)					
				A-5	STACK BOND - STACKER DOORS	AES	24/11/23						
			B	SUBMISSION PLAN	SB	26.03.24							

04




SHADOW PROJECTIONS 21st JUNE

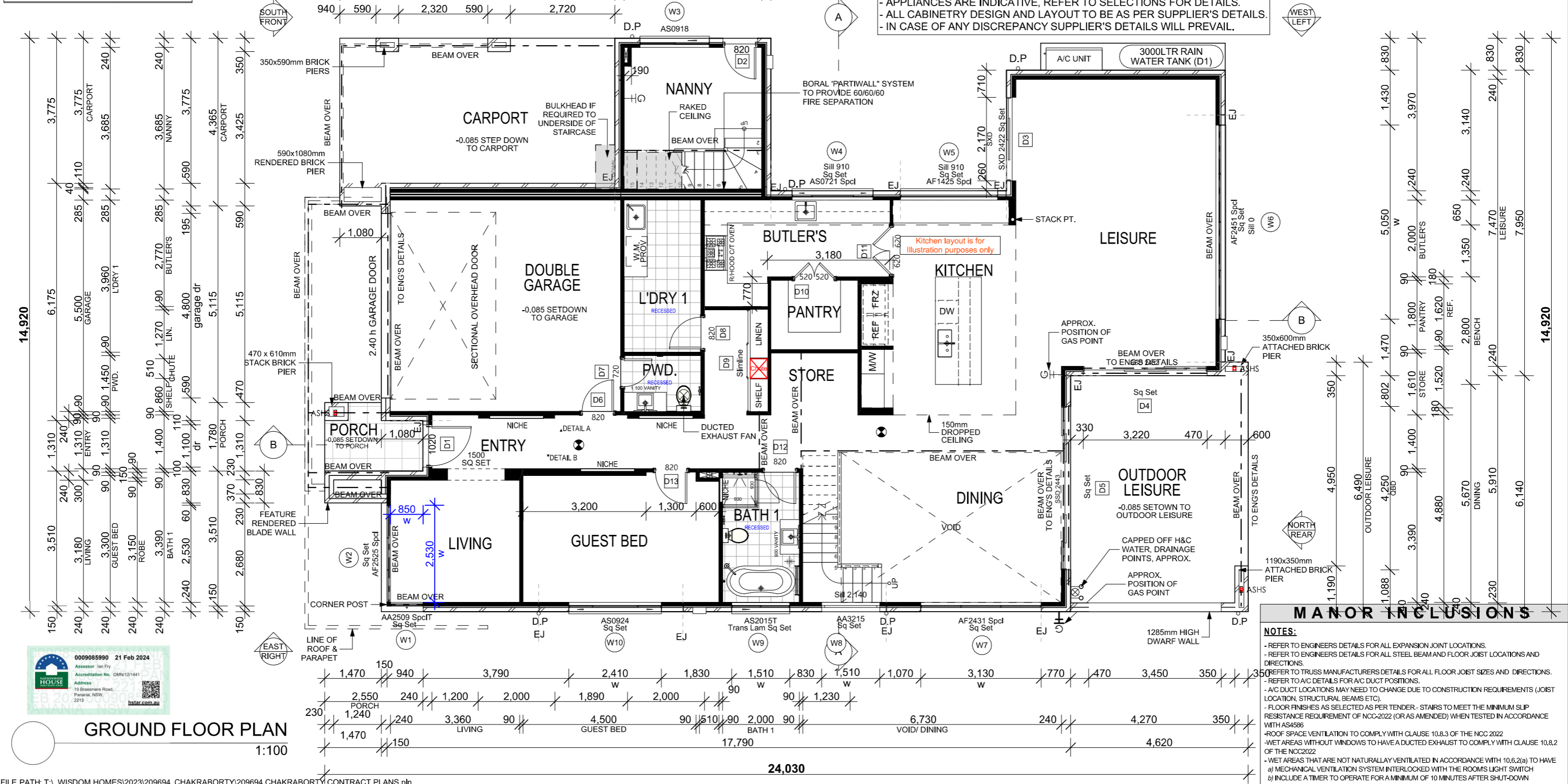
MANOR INCLUSIONS


- NOTES:**
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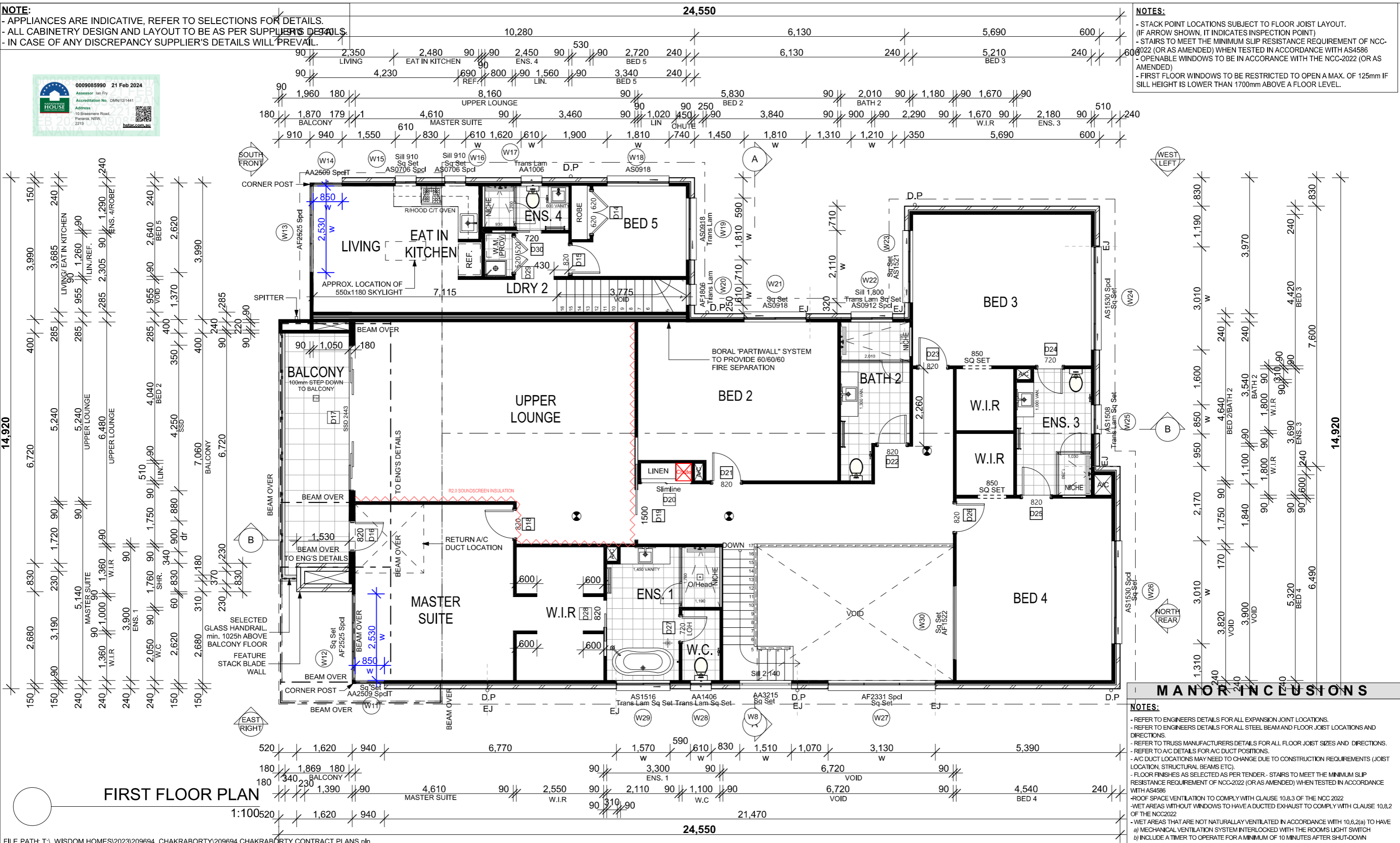
 <div>THE WISE CHOICE</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div>⊗ EXHAUST FAN</div> <div>⊗ SMOKE ALARM AS 3786-1993</div> <div>LODGEMENT: D.A/C.C</div> <div>DP No: 35471</div> <div>*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.</div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS
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	ADDRESS: Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW			A-1	SITING	ITS-HL	25.08.2023	DESIGN: Majestic 50 Manor (Custom)	SLAB CLASS: 'H1' CLASS
				A-2	CONTRACT PLANS	NK	29/09/23	FACADE: Hamilton (Nanny)	SHEET: 05
				A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23		
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				A-5	STACK BOND - STACKER DOORS	AES	24/11/23		
				B	SUBMISSION PLAN	SB	26.03.24		

Area	m ²
LOWER FLOOR	195.83
LOWER	16.51
SECONDARY	
UPPER FLOOR	261.69
UPPER	43.37
SECONDARY	
PORCH	5.34
OUTDOOR LEISURE	28.58
BALCONY FRONT	14.87
GARAGE	64.73
	630.92






 <div>WISDOM HOMES</div> <div>THE WISE CHOICE</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div>⊗ EXHAUST FAN</div> <div>⊗ SMOKE ALARM AS 3786-1993</div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS							
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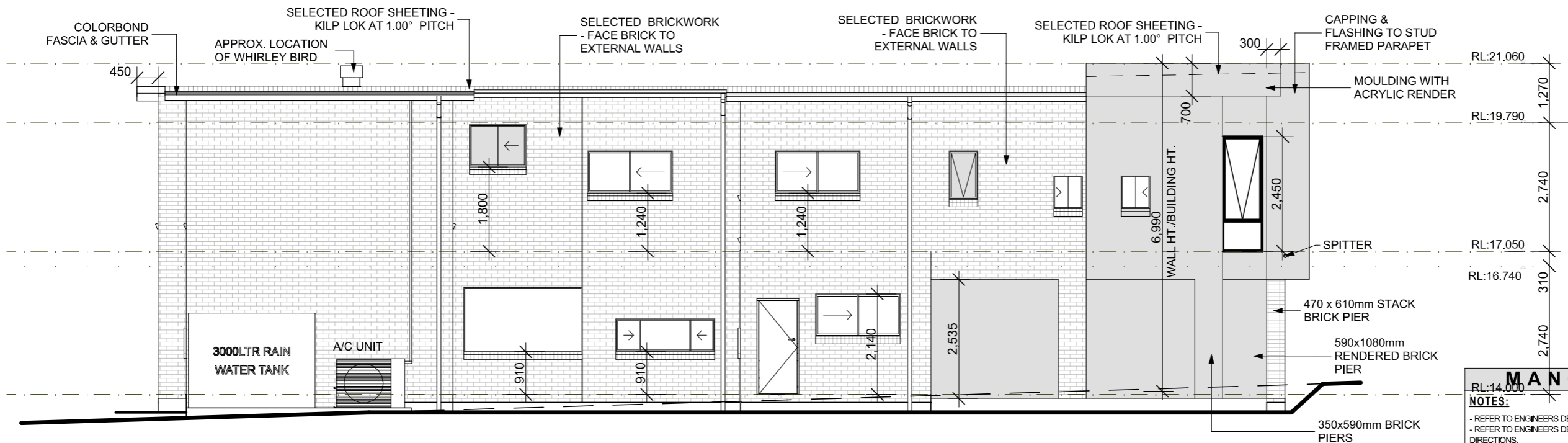
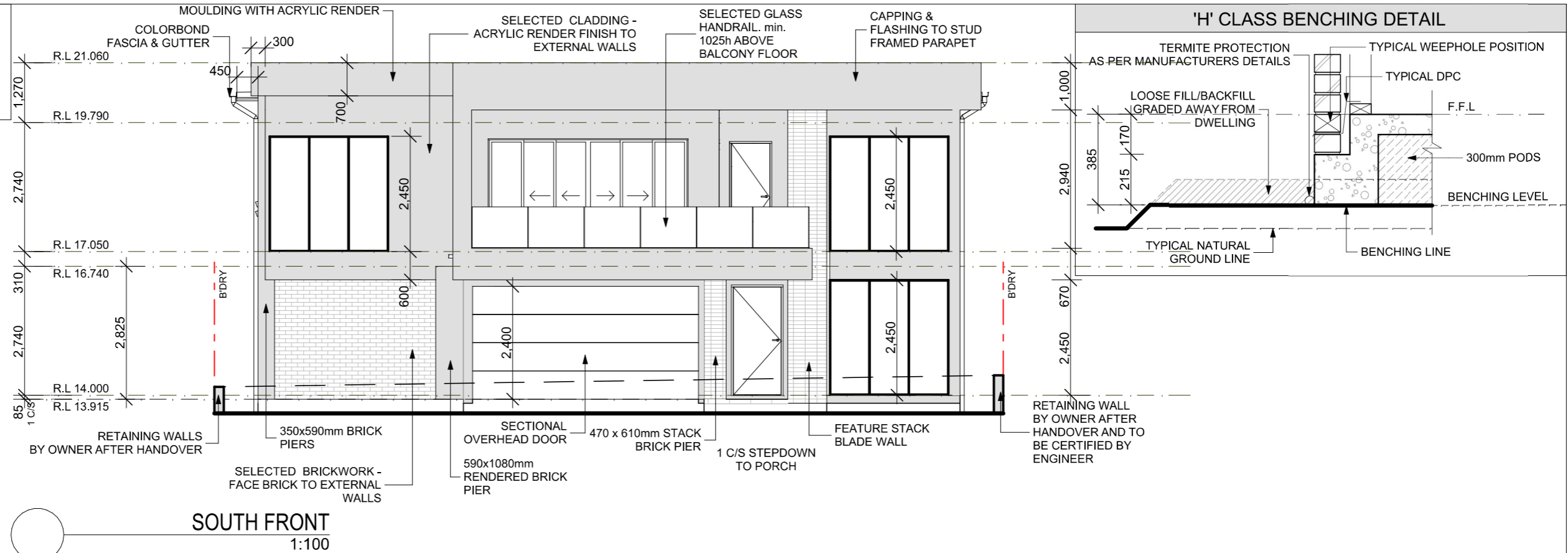
NOTE:
- APPLIANCES ARE INDICATIVE, REFER TO SELECTIONS FOR DETAILS.
- ALL CABINETRY DESIGN AND LAYOUT TO BE AS PER SUPPLIER'S DETAILS.
- IN CASE OF ANY DISCREPANCY SUPPLIER'S DETAILS WILL PREVAIL.



FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.ph

<div></div> <div>WISDOM HOMES</div> <div>THE WISE CHOICE</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div> EXHAUST FAN</div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS	
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						A-5	STACK BOND - STACKER DOORS	AES	24/11/23	
			B	SUBMISSION PLAN	SB	26.03.24				

- STAIRS POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



RL: 14,000



NOTES:

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- REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
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- WET AREAS WITHOUT WINDOWS TO HAVE A DUCTED EXHAUST TO COMPLY WITH CLAUSE 10.8.2 OF THE NCC 2022
- WET AREAS THAT ARE NOT NATURALLY VENTILATED IN ACCORDANCE WITH 10.6.2(a) TO HAVE
 - a) MECHANICAL VENTILATION SYSTEM INTERLOCKED WITH THE ROOMS LIGHT SWITCH
 - b) INCLUDE A TIMER TO OPERATE FOR A MINIMUM OF 10 MINUTES AFTER SHUT-DOWN



WISDOM HOMES
THE WISE CHOICE

PROJECT:	PROPOSED BRICK VENEER DWELLING
CLIENT:	P CHAKRABORTY & P CHAKRABORTY
ADDRESS:	Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW

	EXHAUST FAN
	SMOKE ALARM AS 3786-1993
LODGEMENT:	DP No:
D.A/C.C	35471

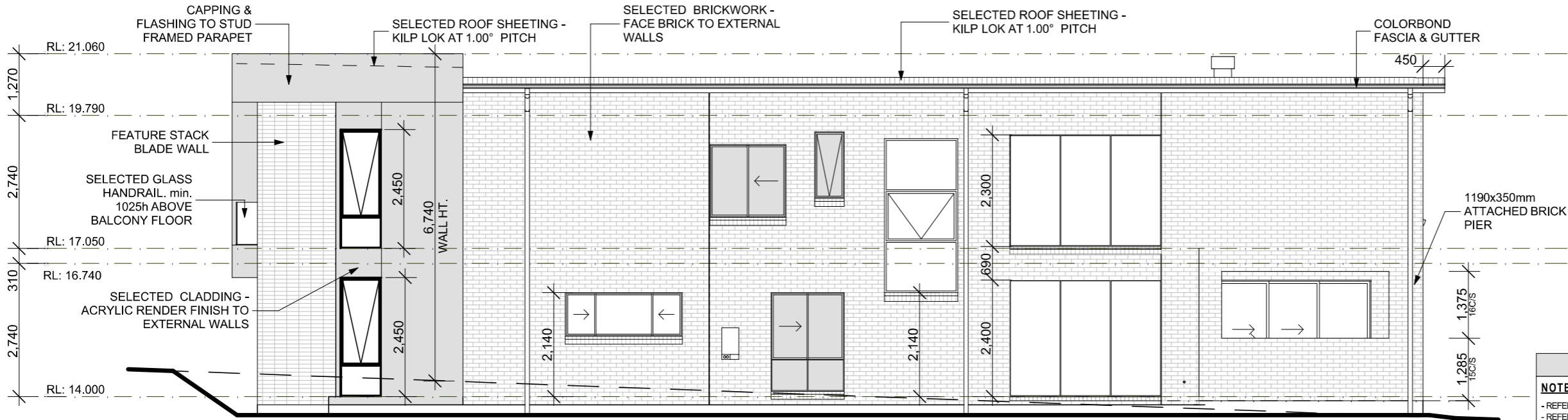
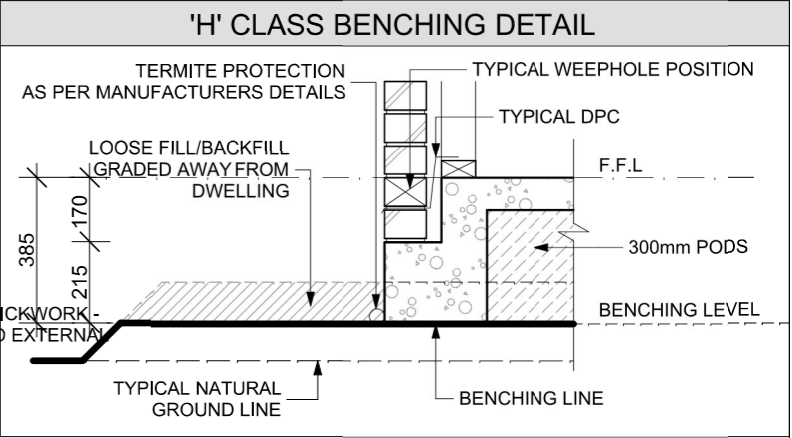
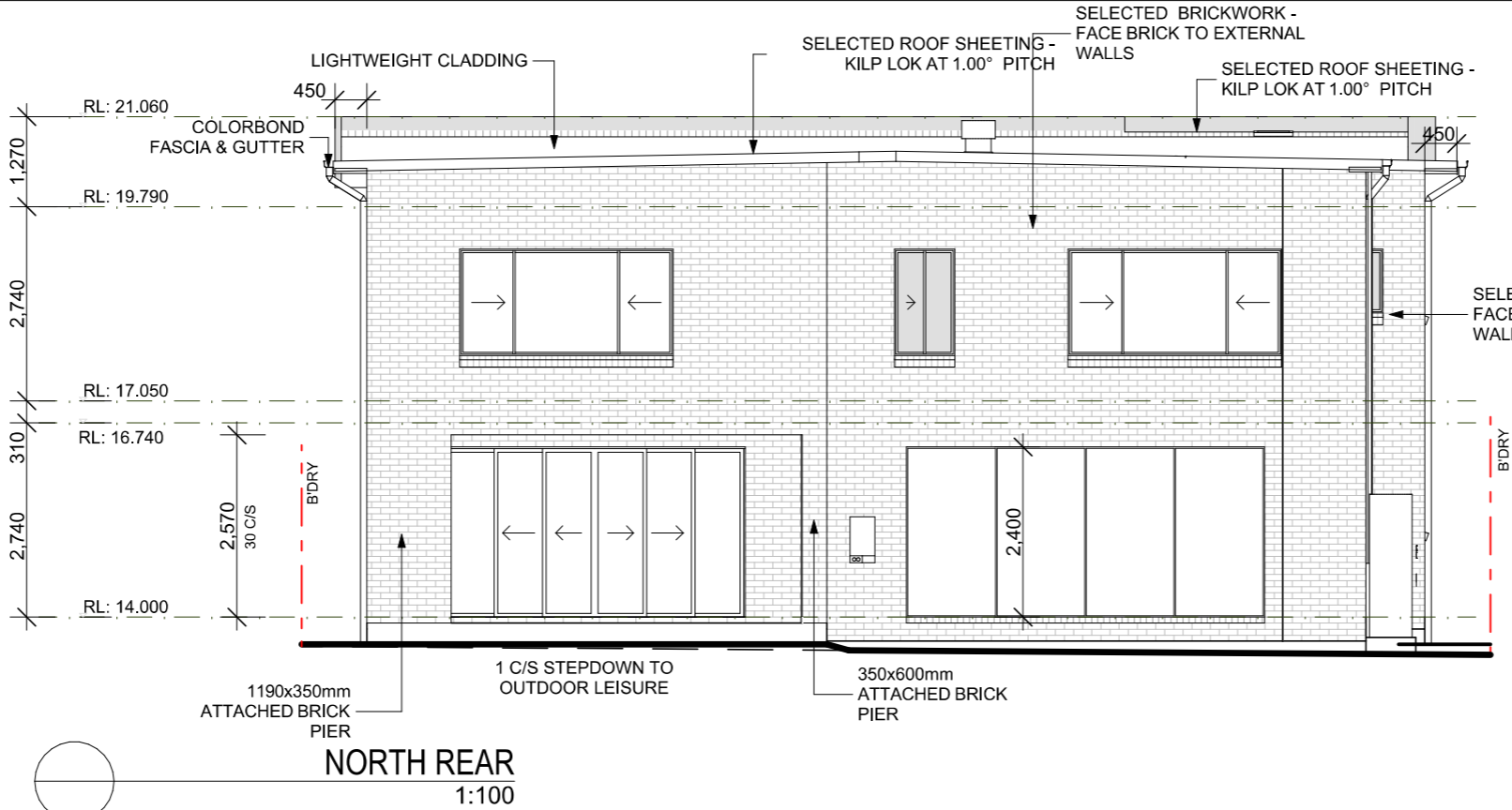
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WISDOM HOMES. BUILDERS LIC. No 131951C.

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REVISION SCHEDULE				JOB No:	DRAWN:
ISSUE	DESCRIPTION	DRAWN	DATE	209694	ITS
P-A	SITING	ITS-HL	25.08.2023		PLOT DATE:
A-2	CONTRACT PLANS	NK	29/09/23	LGA:	26/03/2024
A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23	CANTERBURY-BANKSTOWN	SLAB CLASS:
A-4	ENS 4 TILING AMENDED	NK	23/11/23	DESIGN:	'H1' CLASS
A-5	STACK BOND - STACKER DOORS	AES	24/11/23	Majestic 50 Manor (Custom)	SHEET:
B	SUBMISSION PLAN	SB	26.03.24	FACADE:	08
				Hamilton (Nanny)	

NOTES:

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



EAST RIGHT
1:100

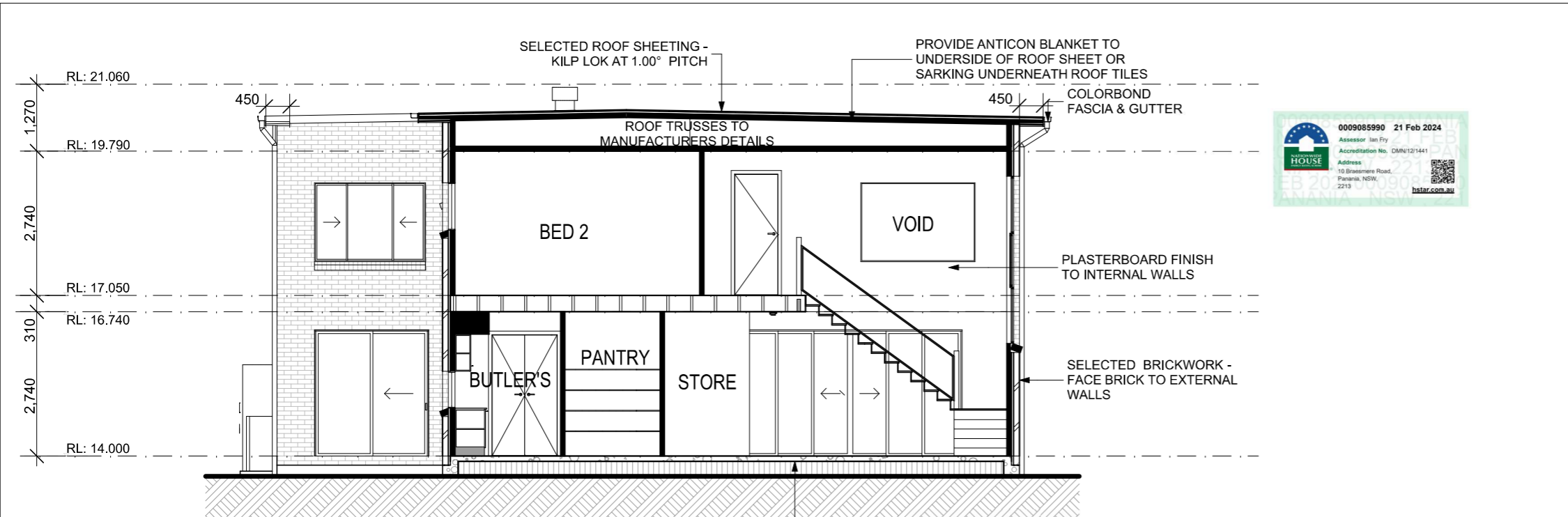
ELEVATIONS
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MANOR INCLUSIONS

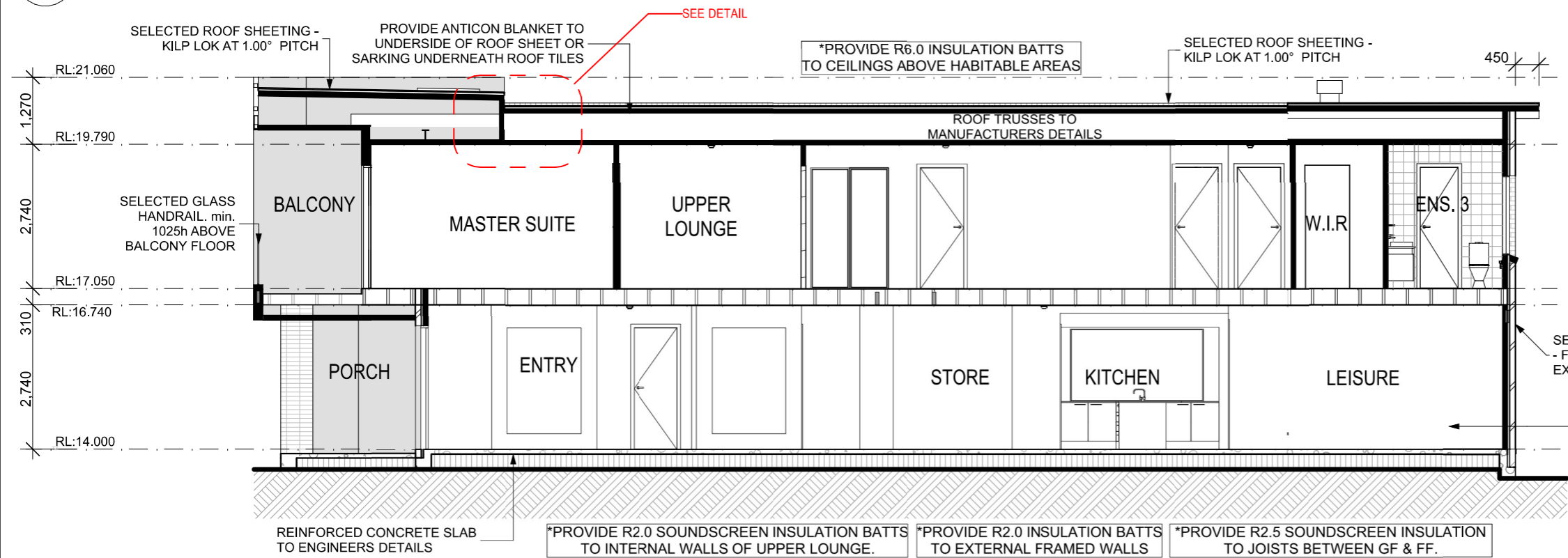
- NOTES:**
- REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 - REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 - REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 - A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 - FLOOR FINISHES AS SELECTED AS PER TENDER - STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF NCC-2022 (OR AS AMENDED) WHEN TESTED IN ACCORDANCE WITH AS4586
 - ROOF SPACE VENTILATION TO COMPLY WITH CLAUSE 10.8.3 OF THE NCC 2022
 - WET AREAS WITHOUT WINDOWS TO HAVE A DUCTED EXHAUST TO COMPLY WITH CLAUSE 10.8.2 OF THE NCC2022
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FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.ph

	PROJECT: PROPOSED BRICK VENEER DWELLING	EXHAUST FAN SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS
	CLIENT: P CHAKRABORTY & P CHAKRABORTY			ISSUE	DESCRIPTION	DRAWN	DATE	PLOT DATE: 26/03/2024	SLAB CLASS: 'H1' CLASS
	ADDRESS: Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW	LODGEMENT: D.A/C.C	DP No: 35471	P-A	SITING	ITS-HL	25.08.2023	LGA: CANTERBURY-BANKSTOWN	
				A-2	CONTRACT PLANS	NK	29/09/23	DESIGN: Majestic 50 Manor (Custom)	
				A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23	FACADE: Hamilton (Nanny)	
				A-4	ENS 4 TILING AMENDED	NK	23/11/23		
				A-5	STACK BOND - STACKER DOORS	AES	24/11/23		
				B	SUBMISSION PLAN	SB	26.03.24		

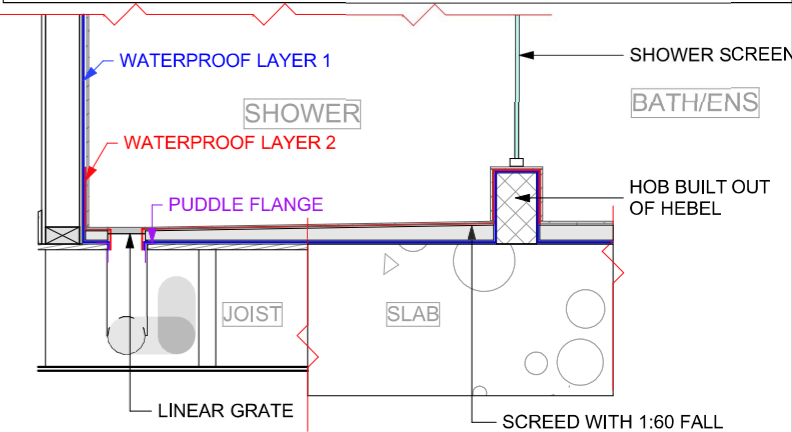
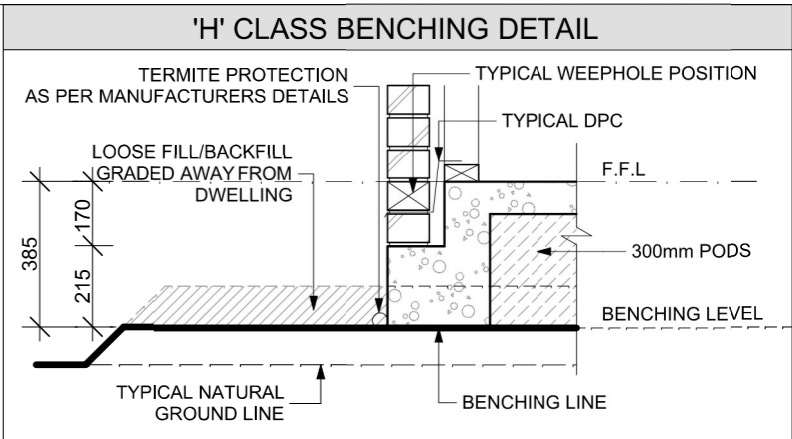


SECTION A-A
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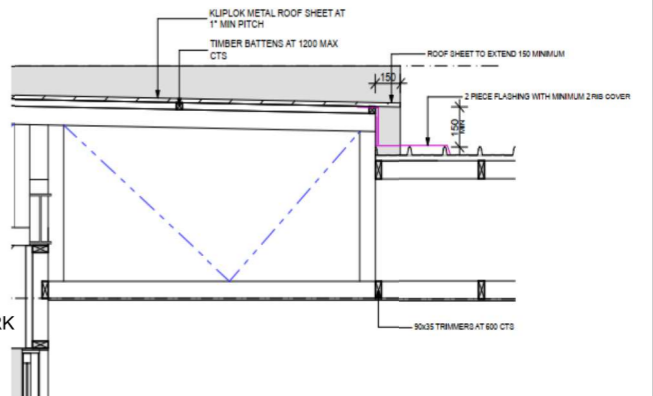


SECTIONS
1:100

SECTION B-B
1:100



Waterproofing (Two Layer) Detail with Hob



MANOR INCLUSIONS

NOTES:

- REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
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NOTES:

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FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.pln



PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
P CHAKRABORTY & P CHAKRABORTY
ADDRESS:
**Lot 13 No.10 BRAESMERE ROAD,
PANANIA, NSW**

EXHAUST FAN
SMOKE ALARM AS 3786-1993
LODGE MENT:
D.A/C.C
DP No:
35471

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REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
P-A	SITING	ITS-HL	25.08.2023
A-2	CONTRACT PLANS	NK	29/09/23
A-3	AMENDMENTS DATED 31/12/23	NK	07/11/23
A-4	ENS 4 TILING AMENDED	NK	23/11/23
A-5	STACK BOND - STACKER DOORS	AES	24/11/23
B	SUBMISSION PLAN	SB	26.03.24

JOB No: 209694	DRAWN: ITS
LGA: CANTERBURY-BANKSTOWN	PLOT DATE: 26/03/2024
DESIGN: Majestic 50 Manor (Custom)	SLAB CLASS: 'H1' CLASS
FACADE: Hamilton (Nanny)	SHEET: 10

Window Schedule								
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame and Reveal	Notes
		Height	Width					
W1	AA2509 SpclT	2,450	850			Glass - Single Clear	90mm TF	
W2	AF2525 Spcl	2,450	2,530			Glass - Single Clear	90mm TF	
W3	AS0918	900	1,810			Glass - Double	240mm BV	
W4	AS0721 Spcl	700	2,110			Glass - Single Clear	240mm BV	Sq Set
W5	AF1425 Spcl	1,370	2,530			Glass - Double	240mm BV	Sq Set
W6	AF2451 Spcl	2,400	5,050			Glass - Double	240mm BV	Sq Set
W7	AF2431 Spcl	2,400	3,130			Glass - Double	240mm BV	Sq Set
W8	AA3215	3,170	1,510			Glass - Double	240mm BV	Sq. set
W9	AS2015T	2,035	1,510			Glass - Trans Lam	240mm BV	Trans Lam Sq Set
W10	AS0924	900	2,410			Glass - Single Clear	240mm BV	Sq Set
W11	AA2509 SpclT	2,450	850			Glass - Single Clear	90mm TF	
W12	AF2525 Spcl	2,450	2,530			Glass - Single Clear	90mm TF	
W13	AF2525 Spcl	2,450	2,530			Glass - Single Clear	90mm TF	
W14	AA2509 SpclT	2,450	850			Glass - Double	90mm TF	
W15	AS0706 Spcl	700	610			Glass - Double	240mm BV	Sq Set
W16	AS0706 Spcl	700	610			Glass - Double	240mm BV	Sq Set
W17	AA1006	1,030	610			Glass - Trans Lam	240mm BV	Trans Lam
W18	AS0918	900	1,810			Glass - Double	240mm BV	
W19	AS0918	900	1,810			Glass - Trans Lam	240mm BV	
W20	AF1806	1,800	610			Glass - Trans Lam	240mm BV	
W21	AS0918	900	1,810			Glass - Double	240mm BV	Sq Set
W22	AS0912 Spcl	900	1,210			Glass - Trans Lam	240mm BV	Trans Lam Sq Set
W23	AS1521	1,500	2,110			Glass - Single Clear	240mm BV	Sq Set
W24	AS1530 Spcl	1,500	3,010			Glass - Single Clear	240mm BV	Sq Set
W25	AS1508	1,500	850			Glass - Trans Lam	240mm BV	Trans Lam Sq Set
W26	AS1530 Spcl	1,500	3,010			Glass - Single Clear	240mm BV	Sq Set
W27	AF2331 Spcl	2,300	3,130			Glass - Single Clear	240mm BV	Sq Set
W28	AA1406	1,370	610			Glass - Trans Lam	240mm BV	Trans Lam Sq Set
W29	AS1516	1,500	1,570			Glass - Trans Lam	240mm BV	Trans Lam Sq Set
W30	AF1522	1,500	2,170			Glass - Single Clear	90mm TF	Sq Set

Door Schedule								
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame and Reveal	Notes
		Height	Width					
D1	Entry door	2,340	1,020				240mm BV	
D2	Entry door	2,040	820				240mm BV	
D3	SXD 2422	2,400	2,170			Single clear	240mm BV	Sq Set
D4	SSD2432	2,400	3,220				240mm BV	
D5	SSD2443	2,400	4,250				240mm BV	
D6	Hung door	2,340	820				90mm TF	
D7	Hung door	2,340	720				90mm TF	
D8	Hung door	2,340	820				90mm TF	
D9	Slimline	2,300	2,640				90mm TF	Sq Set reveal
D10	2x Hung door	2,340	1,040				90mm TF	
D11	2x Hung door	2,340	1,240				90mm TF	
D12	Hung door	2,340	820				90mm TF	
D13	Hung door	2,340	820				90mm TF	
D14	2x Hung door	2,040	1,240				90mm TF	Cupboard
D15	Hung door	2,040	820				90mm TF	
D16	Hung door	2,340	820				180mm TF	
D17	SSD 2443	2,400	4,250			Single clear	180mm TF	Sq Set
D18	Hung door	2,340	820				90mm TF	
D19	Cavity S/D	2,340	1,500				90mm TF	
D20	Slimline	2,300	1,470				90mm TF	Sq Set reveal
D21	Hung door	2,340	820				90mm TF	
D22	Hung door	2,340	820				90mm TF	
D23	Hung door	2,340	820				90mm TF	
D24	Hung door	2,340	720				90mm TF	
D25	Hung door	2,340	820				90mm TF	
D26	Hung door	2,340	820				90mm TF	
D27	Hung door	2,340	720				90mm TF	Lift-off hinges
D28	Cavity S/D	2,340	820				90mm TF	
D29	2x Hung door	2,340	1,040				90mm TF	Cupboard
D30	Cavity S/D	2,040	720				90mm TF	

NOTE:
REFER TO TENDER FOR FLYSCREENS
AND FLYDOORS DETAILS (IF PROVIDED)



MANOR INCLUSIONS




NOTES:

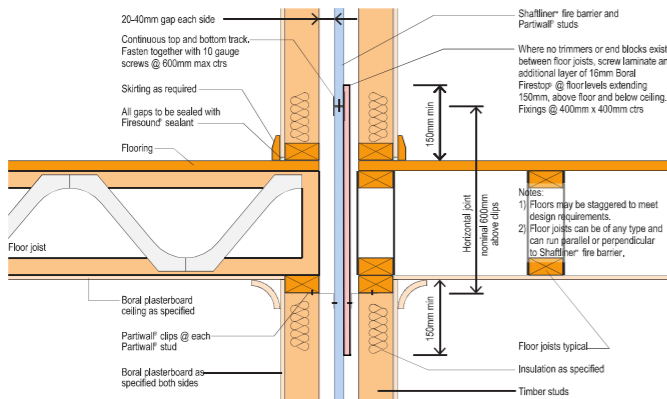
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SCHEDULES

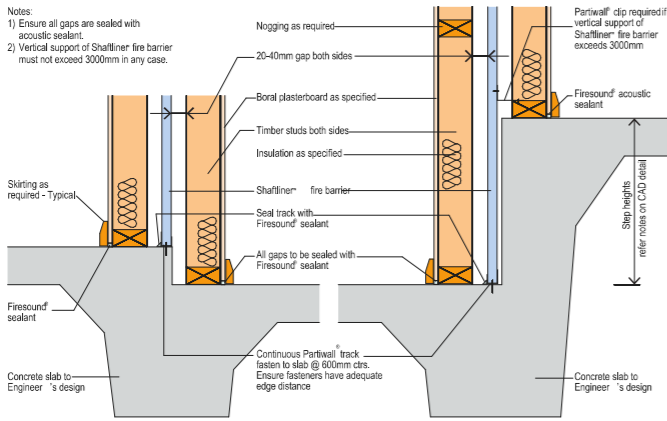
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FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.plh

	PROJECT: PROPOSED BRICK VENEER DWELLING	 EXHAUST FAN  SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 209694	DRAWN: ITS
	CLIENT: P CHAKRABORTY & P CHAKRABORTY			ISSUE	DESCRIPTION	DRAWN	DATE	LGA: CANTERBURY-BANKSTOWN	PLOT DATE: 26/03/2024
	ADDRESS: Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW	LODGEMENT: D.A/C.C	DP No: 35471	P-A	SITING	ITS-HL	25.08.2023	DESIGN: Majestic 50 Manor (Custom)	SLAB CLASS: 'H1' CLASS
		*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.		A-2	CONTRACT PLANS	NK	29/09/23	FACADE: Hamilton (Nanny)	SHEET: 11

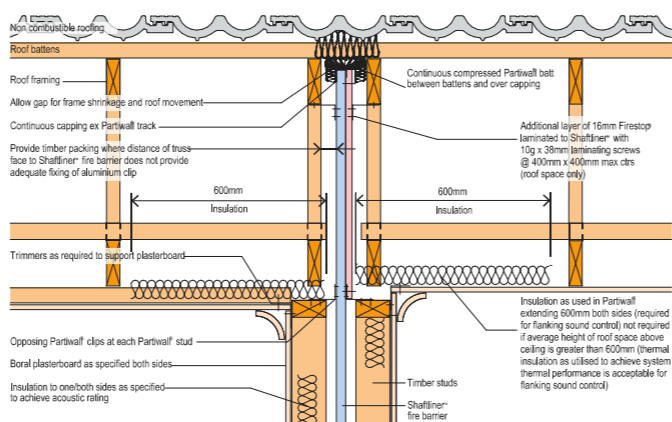


Typical Floor/Wall Junction - FRL 60/60/60 (PW01)

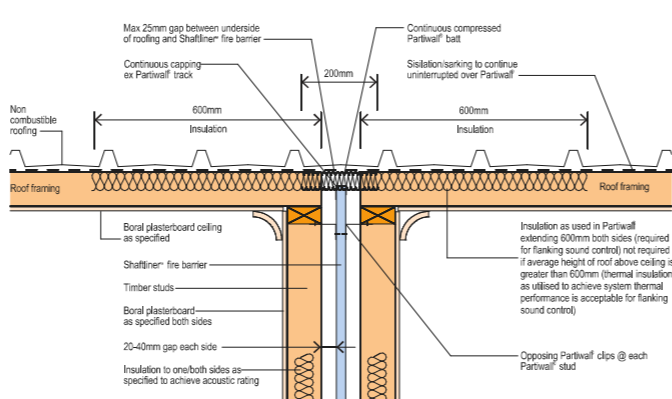


Step in Slab Detail - FRL 60/60/60 (PW04a)

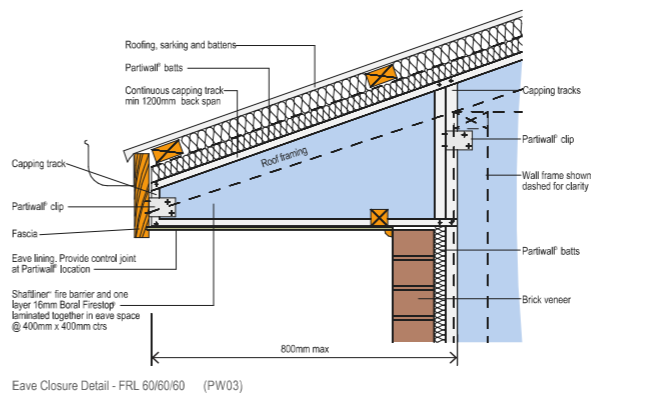
Step in Slab Detail - FRL 60/60/60 (PW04b)



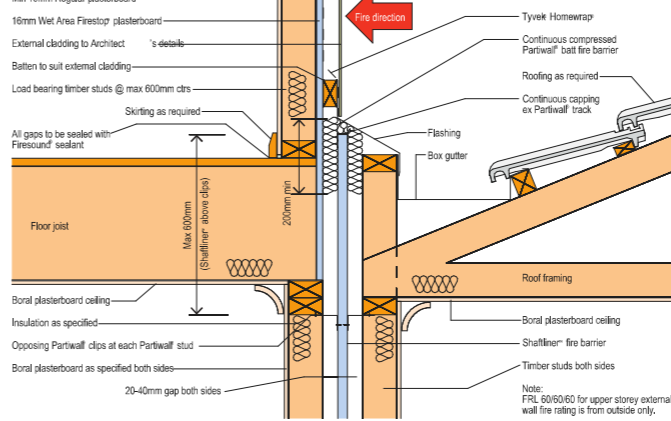
Pitched Roof - Wall/Roof Junction Detail - FRL 60/60/60 (PW13)



Flat Roof - Wall/Roof Junction Detail - FRL 60/60/60 (PW14)



Eave Closure Detail - FRL 60/60/60 (PW03)



Partiwall to OutRwall - Transition Detail 1 - FRL 60/60/60 (PW05)

Fire Rated Wall Detail - Boral "Partiwall" 60/60/60


1:10



DETAILS

1:10

FILE PATH: T:\ WISDOM HOMES\2023\209694 CHAKRABORTY\209694 CHAKRABORTY CONTRACT PLANS.ph

<div><div>WISDOM HOMES</div><div>THE WISE CHOICE</div></div>	PROJECT: PROPOSED BRICK VENEER DWELLING		<div><div><div>⊗</div>EXHAUST FAN</div><div><div>⊗</div>SMOKE ALARM AS 3786-1993</div></div> <div><div>LODGEMENT:</div><div>DP No:</div></div> <div><div>D.A/C.C</div><div>35471</div></div> <div><div>*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.</div></div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.				REVISION SCHEDULE				JOB No: 209694		DRAWN: ITS	
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	ADDRESS: Lot 13 No.10 BRAESMERE ROAD, PANANIA, NSW							CANTERBURY-BANKSTOWN		26/03/2024					
								DESIGN:		SLAB CLASS:					
								Majestic 50 Manor (Custom)		'H1' CLASS					
				FACADE:		SHEET:		12							
				Hamilton (Nanny)		V22									